

अन्दर, मो० 34841/00 शब्दों में (रु० चौतीस हजार आठ सौ इस्त्रालीस मात्र)

चतुर्थ प्रति
(जमाकर्ता हेतु)

बिहार सरकार
निबंधन विभाग

गैर मानक

दस्तावेजों के निबंधन के लिए जमा किए जाने वाले स्टाम्प शुल्क/निबंधन शुल्क एवं भूस्वामी के निबंधन शुल्क के भुगतान के लिए बैंक चालान

1. पक्षकार का नाम/पता विद्याय सोसायटी नगर अंधपथ, संजयपुरा सिंह पिना 190
(जिसकी ओर से जमा किया जा रहा है) महेश प्रसाद सिंह राउत-3855 पाका सं० क० 810 जिला-गया
2. दस्तावेज का प्रकार करीज
3. निबंधन कार्यालय
4. बैंक का नाम एवं शाखा चौतीस हज़ार आठ सौ इस्त्रालीस
5. भुगतान की जानेवाली राशि का विवरण :

क्र०सं०	भुगतान का मद एवं शीर्ष	रकम
(क)	स्टाम्प शुल्क-मुख्य शीर्ष-0030-स्टाम्प एवं पंजीकरण-उप-मुख्य शीर्ष 02-स्टाम्प गैर न्यायिक लघु शीर्ष-103- दस्तावेजों पर स्टाम्प शुल्क लगाना-उप शीर्ष 0001 सकल प्राप्तियाँ प्राथमिक इकाई-75 49 सकल प्राप्तियाँ विपत्र कोड - R0030021030001	25640/-
(ख)	निबंधन शुल्क-मुख्य शीर्ष-0030-स्टाम्प एवं पंजीकरण शुल्क उप मुख्य शीर्ष-03 पंजीकरण शुल्क, लघु शीर्ष- 104-दस्तावेजों का पंजीकरण शुल्क-उप शीर्ष-0001, प्राथमिक इकाई 75 49 सकल प्राप्तियाँ विपत्र कोड - R0030031040001	9200/-
(ग)	भूस्वामी शुल्क-मुख्य शीर्ष-0029-भू राजस्व लघु शीर्ष-800-अन्य प्राप्तियाँ-उप शीर्ष-0006-अन्य मदे-प्राथमिक इकाई-75 49 भूमि निबंधन शुल्क से आय विपत्र कोड - R0029008000006	—
	भुगतान का माध्यम : नगद/चेक/ड्राफ्ट	कुल योग
	कुल राशि शब्दों में <u>चौतीस हज़ार आठ सौ इस्त्रालीस रुपये मात्र</u>	34840/-

स्थान गया
 * चेक/ड्राफ्ट चौतीस हज़ार आठ सौ इस्त्रालीस पर अंकित कर दें।
 * चेक/ड्राफ्ट की राशि अन्तरित होने के पश्चात् ही मान्य होगी।

जोपाल सिंह
 जमाकर्ता का नाम
 एवं हस्ताक्षर

FOR USE OF THE BANK

कॉल नं० तारीख उपर्युक्त कॉलम
 संख्या 05 में दिए गए दिवसों के अनुसार रु० /शब्दों में रूपये
 प्राप्त किया। प्राधिकृत पदाधिकारी का हस्ताक्षर एवं मुहर

क में संधारण हेतु निबंधन हेतु सर्विस चार्ज * जमा करने का विवरण

जमाकर्ता का नाम/पता :
 शि - रु० /शब्दों में एस्करो लेखा सं० :
 जमा करने की तिथि :
 स्कूल सं० :
 दस्तावेज के पृष्ठों की संख्या - 2) X रु० 30/-

बैंक की प्राप्ति एवं मुहर

नं० 501/..... शब्दों में (रु० पाँच सौ एक.....) मात्र

चतुर्थ प्रति
(जमाकर्ता हेतु)

बिहार सरकार
निबंधन विभाग

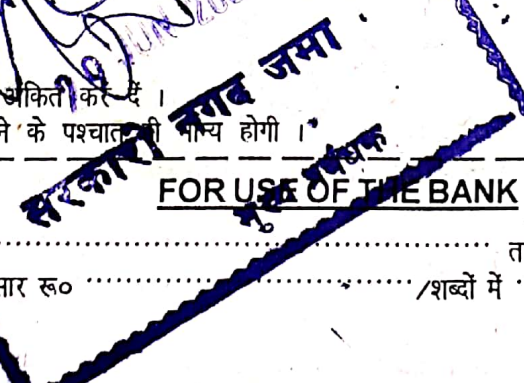
गैर मानक

दस्तावेजों के निबंधन के लिए जमा किए जाने वाले स्टाम्प शुल्क/निबंधन शुल्क एवं
भूस्वामी के निबंधन शुल्क के भुगतान के लिए बैंक चालान

पक्षकार का नाम/पता श्री. राजेश कुमार झा, पत्नी श्री. सुश्री. विद्या प्रसाद झा, निवासी, गिरिपुरा, सिद्धपुरा, मिर्जापुरा, जिला, प्रयाग, मिर्जापुरा
(जिसकी ओर से जमा किया जा रहा है) श्री. राजेश कुमार झा, पत्नी श्री. सुश्री. विद्या प्रसाद झा, निवासी, गिरिपुरा, सिद्धपुरा, मिर्जापुरा, जिला, प्रयाग, मिर्जापुरा
दस्तावेज का प्रकार भूमि निबंधन
3. निबंधन कार्यालय गिरिपुरा
बैंक का नाम एवं शाखा भारतीय स्टेट बैंक, गिरिपुरा, जिला, प्रयाग, मिर्जापुरा
5. भुगतान की जानेवाली राशि का विवरण :

क्र०सं०	भुगतान का मद एवं शीर्ष	रकम
(क)	स्टाम्प शुल्क-मुख्य शीर्ष-0030-स्टाम्प एवं पंजीकरण-उप-मुख्य शीर्ष 02-स्टाम्प गैर न्यायिक लघु शीर्ष-103- दस्तावेजों पर स्टाम्प शुल्क लगाना-उप शीर्ष 0001 सकल प्राप्तियाँ प्राथमिक इकाई-75 49 सकल प्राप्तियाँ विपत्र कोड - R0030021030001	—
(ख)	निबंधन शुल्क-मुख्य शीर्ष-0030-स्टाम्प एवं पंजीकरण शुल्क उप मुख्य शीर्ष-03 पंजीकरण शुल्क, लघु शीर्ष- 104-दस्तावेजों का पंजीकरण शुल्क-उप शीर्ष-0001, प्राथमिक इकाई 75 49 सकल प्राप्तियाँ विपत्र कोड - R0030031040001	500 = 100
(ग)	भूस्वामी शुल्क-मुख्य शीर्ष-0029-भू राजस्व लेख शीर्ष-800-अन्य प्राप्तियाँ-उप शीर्ष-0006-अन्य मदें-प्राथमिक इकाई-75 49 भूमि निबंधन शुल्क से आय विपत्र कोड - R00290080000006	—
	भुगतान का माध्यम : नगद / चेक / ड्राफ्ट	कुल योग
	कुल राशि शब्दों में <u>पाँच सौ एक मात्र</u>	500 = 100

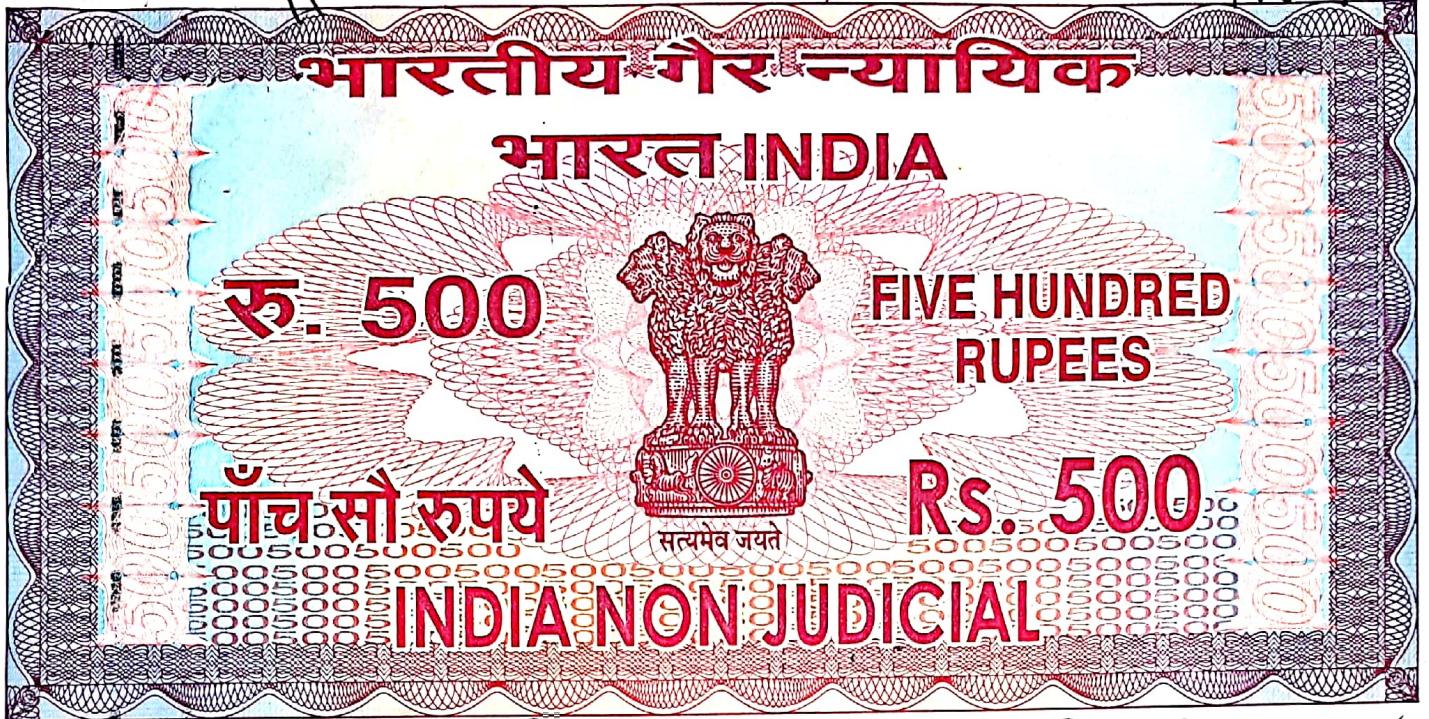
जमाकर्ता का नाम/पता
तारीख
चेक/ड्राफ्ट का विवरण चेक पर अंकित करें।
* चेक/ड्राफ्ट को राशि अन्तर्गत होने के पश्चात् ही मान्य होगी।
जमाकर्ता का नाम एवं हस्ताक्षर



कुल नं० तारीख उपर्युक्त कौलम
संख्या 05 में दिए गए विवरण के अनुसार रु० /शब्दों में रूपये
किया। प्राधिकृत पदाधिकारी का हस्ताक्षर एवं मुहर

बैंक में संधारण हेतु निबंधन हेतु सर्विस चार्ज * जमा करने का विवरण
जमाकर्ता का नाम/पता :
राशि - रु० /शब्दों में एस्करो लेखा सं० :
जमा करने की तिथि :
बैंक स्क्रौल सं० :
दस्तावेज के पृष्ठों की संख्या - 2) X रु० 30/- बैंक की प्राप्ति एवं मुहर

11608 Case 2, 43811/- x 2 Chandrauli 1161



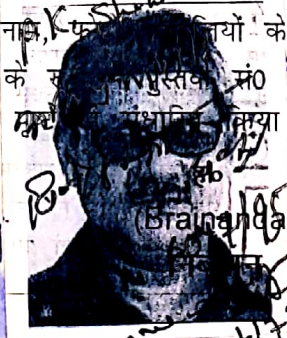
15
16

बिहार BIHAR 9639 - 26⁰⁰/₁₀₀ - 200100 - सिद्धार्थ सोसाइटी प्रसिडेंट 833794

शंजय कुमार सिंह - महेश प्रसाद सिंह
शां - केन्दुई थाना मेडिकल कॉलेज जिला-गया
वास - लीज

बिहार सरकार द्वारा जारी 25.6.2006
जिला निबंधन कार्यालय गया 7820

दिनांक 10/10/2006 को श्री/श्रीमती Prashant Kumar Shahia द्वारा यह दस्तावेज निबंधन हेतु उपस्थापित किया गया। इसमें निबंधन शुल्क रु. 15555/- निबंधन तथा अन्य शुल्क का भुगतान किया गया। दस्तावेज ग्राह्य पण्डित जिन लखक रियों ने मेरे समक्ष इसका निष्पादन स्वीकार किया उनके तथा उनके पहचानकर्ता के नाम, पत्तियों के निशान एवं दस्ताक्षर पीछे अंकित हैं। इसे दस्तावेज सं० 11161 के साथ पुस्तक सं० 16 का निबंधन किया गया।
CD 2 में आज निबंधित एवं कुल 18



Date : 10/10/2006

Executed by Prashant Kumar Shahia
Sanjiv Kumar Singh
29.6.06
Executed 29.6.06

812
3016

20.11.06

Fee Paid
Rs 19520
45
250
19815

DEED OF LEASE

This Deed of Lease made on 29th June 2006 for a period of 30 years commencing from 1st July, 2006 between Sri Prashant Kumar Shahi son of Baleshwar Shahi, resident of Shahi Building, Shahi lane, P.S.- Gandhi Maidan, District- Patna, hereinafter referred to as the "Lessor" on the one part.

And

Siddharth Society registered under the Society Registration Act bearing its registration No. 136 of 2003-2004, registered office kendui, P.S.- Magadh Medical College, District- Gaya through its President Shri Sanjay Kumar Singh son of Late Mahesh Prasad Singh, resident of Kedui, P.S.- M.M. College, District- Gaya hereinafter referred to as the "Lessee".

1. That the Lessee is registered society. one of the objects for which the society is incorporated is to establish and administer educational institutions. It is represented through its President Shri Sanjay Kumar Singh. The Society being desirous of establishment of education institution approached the Lessor for taking on Lease the land and building comprised in ward No. 8/25, Holding No. 2/2, in Mohalla Bakubigha, Kendui near I.T.I., Bodh gaya within Gaya Municipal Corporation. The said premises is comprised in an area of 2.40 Acres, having several constructed building

Prashant Kumar Shahi
29.06.06

Sanjay Kumar Singh
29/6/06

roughly 20000sq.ft. R.C.C. and covered by corrugated sheet belongs and was in absolute ownership of Smt. Urmila Shahi. She has expired on 12-12-2005. After death Lessor being here son is absolute owner of the property. The Lessor has agreed to let out the premises more fully described in the Schedule to this Lessor Deed for establishment of an educational institution in the name and style "MANAV BHARTI NATIONAL SCHOOL" lessor has agreed to let out the aforesaid premises to the Lessee and the terms and conditions between the parties have been agreed upon. It is, therefore necessary to reduce the same in writing for use by the parties.

2. That the Lessor has agreed to let out land and building more fully described in the Schedule to his Lease Deed on a monthly rent of Rs. 10,000/- (Rupees ten thousand) only w.e.f July, 2006 for a period of 30 years expiring on 30th June, 2036, Lessee has been put in possession.

3. That the land over which the building is constructed is approximately 2.40 Acres in an area on the western side of land main road is passing towards Bodh-Gaya. The lessor has not let out 50 ft. (fifty feet) from the western to Eastern side of the plot parallel to the main road. It is agreed that whenever the lessor would require of make any construction or use it for any purpose the same would not be objected to by the lessee as the said land is not comprised in the present Lease Deed.

Sanjay Kumar Singh
Roshan Kumar Singh
29.06.06

29.6.06

4. That the Lessor has agreed to allow peaceful enjoyment of the premises let out Lessee for the purpose of establishment and administering the afore-said "MANAV BHARTI NATIONAL SCHOOL" it is further agreed that the Lessee shall not use the premises for any other purposes without prior written consent of the Lessor.

5. That the Lessee will be entitled to apply and seek affiliation/ recognition for said "MANAV BHARTI NATIONAL SCHOOL" Government bodies such as CBSE/ICSE and on request of Lessee, Lessor will have no objection in issuing no objection in favor of Lessee.

6. That on above broad agreements Lessor and Lessee have agreed on the following further terms and condition.

(i) That the period of Lese will be for thirty years commencing from 1st July 2006, provided that rent shall be enhanced every three years at the rate of 15% of the then existing rent. If the Lessee does not agree for enhancement of rent as above lease shall determine on expiry of the term of three years without any reference and notice to the Lessee.

(ii) That the Lessee has further agreed to install electricity connection and Lessor will have no objection to installation of electric connection in the name of Lessee or in the name of School in question. However, the liability of electric charges shall be that of the lessee and will be born by the Lessee and the

Sanjay Kumar Singh President Kumhar

29.06.06

29.6.06

said "MANAV BHARTI NATIONAL
further agreed that the Lessee shall not use the pre-
mises for any other purposes without prior written con-
sent of the Lessor.

That the Lessee will be entitled to apply

28.06.06
Rohant Kumar

-4-

Lessor shall not be liable in any manner for consump-
tion of the electricity by the Lessee.

(iii) That it has further been agreed that the
Lessee shall pay the Municipal Tax of the premises in-
cluding any enhancement made by the Municipal au-
thority from time to time.

(iv) That there are large number of trees on
the land in question. It has been agreed upon between
the parties that the Lessee shall not remove or in any
way damage the existing trees without written permis-
sion from the Lessor.

(v) That the periodical repair and maintenance
of the premises in use and occupation by the Lessee
shall be carried by the Lessor.

(vi) That the Lessee shall keep the building and
annex and/or other constructed area which may be built
subsequently in good and habitable condition and will
ensure that no damage is caused to the building and/
such other construction which is in the use and occu-
pation of the Lessee.

(vii) That it is further been agreed upon be-
tween the parties that the rent as indicated above, shall
be payable by the Lessee to Shri Prasant Kuamr Shahi,
in 1st week of every subsequent month. In case the rent
for three months is not paid and the Lessee commits
default, the Lease shall be terminated even before ex-
piry of its terms and the Lessee shall be evicted from
the premises and the Lessee shall hand over the pre-
mises in peaceful possession to the lessor.

Sanjay Kumar Singh
28.06.06
Rohant Kumar

29.6.06

(viii) That on determination of lease either by efflux of time or on account of premature determination on the ground of default in payment of rent or breach of any of the condition of this agreement the Lessee shall have to pay damage for use and occupation of the premises, which shall be quantified at double the rate of rent existing at the time of termination/ determination of lease.

(ix) That the parties agree that in the event of any dispute between the parties arising out of this agreement or touching this agreement including determination of lease, recovery of rent, eviction and possession, the same shall be referred to arbitration of a sole arbitrator to be nominated by the Lessor and his decision shall be final and finding on the parties. Arbitral proceeding shall be conducted in accordance with the then existing law on the subject and shall be held at Patna.

(x) That it has been agreed that if the Lessee keeps the premises in good and habitable condition and pays the rent without default and does not breach the terms and conditions of this agreement

Sanjay Kumar Singh
Barhan Kumar
29.06.06

29.6.06

this agreement or touching this agreement
determination of lease, recovery of rent, eviction and
possession. the same shall be referred to arbitration of

lessee shall be allowed to enjoy peaceful occupation of
the premises. In token of agreement Deed of Lease
contained in this the parties to this Lease have signed
in presence of the witnesses.

Sanjay Kumar Singh

Witnesses

1. राजीव खंन कुमार सिंह Lessor Prashant Kumar
पिता - श्री महेश कुमार सिंह 29-06-06
ग्राम - कांवरवाडी
म. से. कांवरवाडी

2. मी. दीपक म
वर्ग-110 - कुलपति
पत्नी: महीश्वरी
माता विजया लक्ष्मी
पिता - राजा
Lessee Sanjay Kumar Singh
29.6.06

Drafted by :

Prakash Kumar
Civil Court Judge
P. N. 6047/95

land and building comprise
ing No. 2/2, in Mohalla Bal
Bodh gaya within

मिमी 12/10/06
मिमी 2/2/06

Drafted by :

T-2108

Endorsement of Certificate of Admissibility (Rule - 35)

Admissible under Rule 21 : duly stamped (or exempted from or does not require stamp duty) under the Indian Stamp Act, 1899, Schedule I or I-A, No. 35
Also admissible under section 26(a) of the B. T. Act.

Stamp duty paid under Indian Stamp Act Rs. **49080**
Addl. Stamp duty paid under RDA/Municipal Act Rs

Fee Paid

A1	14400	I	0	K1c	0	Mb	0
A8	0	J1	0	K2	500	Na	45
A9	0	J2	0	Li	0	Scan	360
A10	0	Ka1	0	Lii	0		
E	250	K1b	0	Liii	0	Tot Reg Fee	15555

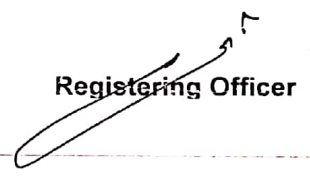
Date : 10/10/06


Registering Officer

Endorsement under section 52

Presented for registration at 06:06 PM on the day Tuesday, 10th October 2006 at the Gaya D. R. O/ Sub_Registry Office by Prashant Kumar Shahi son/wife of S/O Late Baleshwar Shahi by profession Others.
(Executant or attorney for one of the executants or claimants under a power no. for 20..... authenticated by sub-registrar of)

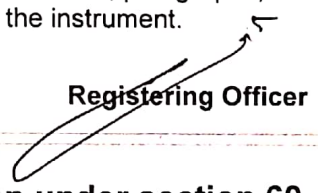
Signature of Presentant


Registering Officer

Endorsement under section 58

Execution is admitted by persons and identified by others whose names, photographs, fingerprints and signatures are affixed on the reverse pages of the instrument.

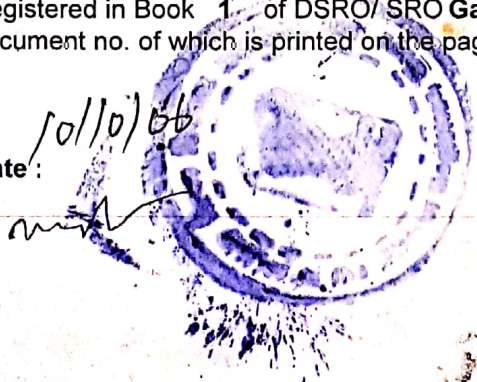
Date : 10/10/06


Registering Officer

Endorsement of Certificate of Registration under section 60

Registered in Book 1 of DSRO/ SRO Gaya having the volume and document no. of which is printed on the page of the document.

Date : 10/10/06




Registering Officer